



Planning Committee

22 July 2014

Time 2.00 pm **Public Meeting?** YES **Type of meeting** Regulatory
Venue Committee Room 3 - Civic Centre

Membership

Chair Cllr Linda Leach (Lab)
Vice-chair Cllr Harman Banger (Lab)

Labour

Cllr Ian Claymore
Cllr Claire Darke
Cllr Dr Michael Hardacre
Cllr Keith Inston
Cllr John Rowley
Cllr Judith Rowley
Cllr Bert Turner

Conservative

Cllr Christopher Haynes
Cllr Wendy Thompson
Cllr Jonathan Yardley

Quorum for this meeting is four Councillors.

Information for the Public

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Contact John Wright
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Wolverhampton WV1 1RL

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Some items are discussed in private because of their confidential or commercial nature. These reports are not available to the public.

Agenda

Part 1 – items open to the press and public

- | <i>Item No.</i> | <i>Title</i> |
|-----------------|--|
| 1 | Apologies for absence |
| 2 | Declarations of interest |
| 3 | Minutes of the previous meeting (Pages 1 - 6)
[To approve the minutes of the previous meeting as a correct record] |
| 4 | Matters Arising
[To consider any matters arising] |

DECISION ITEM

- | | |
|---|---|
| 5 | Planning Applications 14/00595/FUL and 14/00596/LBC Former Bilston Police Station, Mount Pleasant, Bilston (Pages 7 - 10)
[To determine the applications] |
| 6 | Planning Application 14/00303/FUL The Limes, 2 Limes Road, Tettenhall (Pages 11 - 14)
[To determine the application] |



Planning Committee

Minutes - 17 June 2014

Attendance

Councillors

Cllr Linda Leach (Chair)
Cllr Harman Banger (Vice-Chair)
Cllr Ian Claymore
Cllr Claire Darke
Cllr Dr Michael Hardacre
Cllr Christopher Haynes
Cllr Keith Inston
Cllr John Rowley
Cllr Judith Rowley
Cllr Wendy Thompson
Cllr Bert Turner
Cllr Jonathan Yardley

Employees

Stephen Alexander	Head of Planning
Andy Carter	Senior Planning Officer
Jenny Davies	Senior Planning Officer
Lisa Delrio	Senior Solicitor
Martyn Gregory	Section Leader
Marianne Page	Section Leader - Transportation
John Wright	Democratic Support Manager

Part 1 – items open to the press and public

Item No. *Title*

1 Apologies for absence

No apologies for absence were received

2 Declarations of interest

Cllr Hardacre declared a non pecuniary interest in Agenda Item 9 Planning Application 13/01182/FUL Land rear of The Cedars, Compton Road West, Wolverhampton as he was a governor of City of Wolverhampton College.

3 Minutes of the previous meeting

Resolved:

That the minutes of the meeting held on 6 May 2014 be approved as a correct record and signed by the Chair.

4 Matters Arising

There were no matters arising

5 Planning application 14/00288/FUL Bilston Urban Village

The Senior Planning Officer informed the Committee of a revised recommendation to give the Strategic Director Education and Environment delegated powers to grant the application subject to the submission of revised details for the attenuation pond

Mrs Thomas spoke in opposition to the application

Mr Smith spoke in support of the application

Councillors asked for details of the traffic calming measures that would be put in place and were informed that a range of solutions could be employed with the exact details being dependent on the design of the houses on the site which had yet to be agreed

Resolved

That the Strategic Director for Education and Environment be given delegated authority to grant planning application 14/00194/FUL subject to any appropriate conditions including:

- mining mitigation
- tree protection measures
- drainage
- soil samples
- habitat mitigation and management plan
- construction method statement (including site compound location, site management plan, routing of construction traffic, wheel wash equipment and hours of construction and lighting)
- re-use of furnace slag removed from the wall on Dudley Street as facing material for headwalls
- restrict stockpile height
- completion report for stabilisation works

6 Planning application 14/00384/FUL High Street/College Road Tettenhall

The Senior Planning Officer informed the Committee that the property referred to in paragraph 9.7 was number 20 College Road not number 22

Mr Banks spoke in opposition to the application

Ms Matthewson spoke in support of the application

Some Councillors expressed support for the application which they felt would benefit the local community

Other Councillors expressed concerns about the effect the proposal would have on the conservation area, the size and scale of the development and loss of trees.

Resolved

That the Strategic Director of Education and Enterprise be given delegated authority to grant planning application 14/00384/FUL subject to:

- (i) A S106 agreement for the following (if the development is sufficiently financially viable) :
- Funding a TRO for traffic calming and 20 mph limit
 - Affordable housing at 25% (or off-site contribution)
 - Off-site open space and play - £46,517
 - 10% renewable energy
 - Public Art
 - Management company for communal areas
 - Targeted recruitment and training

If the development is not fully financially viable:

A reduction in Section 106 requirements (except for TRO funding and management company) commensurate with the shortfall in viability on a pro-rata basis for all dwellings that are ready for occupation within 3 years of the date that a lack of viability is established, with the full (pro-rata) requirement falling on all dwellings that are not ready for occupation by that date

- (ii) the submission of an acceptable Bat Survey & necessary mitigation measures
- (iii) any appropriate conditions including:
- Materials;
 - Window and door details;
 - Bin stores;
 - Landscaping;
 - Boundary treatments including monitoring of wall;
 - Arboricultural Method Statement;
 - Details of electricity sub-station;
 - Measures to mitigate impact of construction on neighbours' amenity;
 - Hours of construction;
 - 0800 to 1800 Monday to Friday
 - 0800 to 1300 Saturday,
 - at no time on Sundays or Bank and Public Holidays.
 - Scheme of Archaeological Works

7 Planning application 14/00303/FUL 2 Limes Road Wolverhampton

Mrs Ager spoke in opposition to the application

Councillors felt that it would be useful to visit the site prior to making a decision in order to assess the impact of the proposal on neighbouring properties.

Resolved

That a site visit be held prior to the next meeting of the Committee

8 Planning application 14/00310/FUL Mander Centre

The Senior Planning Officer informed the Committee that the proposed condition relating to renewable energy would be deleted.

Mr Holmes spoke in opposition to the application.

Mr Robinson spoke in support of the application

Councillors expressed their support for the redevelopment of the Mander Centre

Resolved

That planning application 14/00310/FUL be granted subject to any appropriate conditions including:

- Materials;
- Details of external plant;
- Cycle storage;
- Noise levels for plant and ventilation;
- Construction Method Statement;
- Hours of demolition and construction:
 - 0800 to 1800 hours Monday to Friday; and
 - 0800 to 1300 hours on Saturdays; and
 - No working on Sundays or Bank Holidays.
- Targeted recruitment and training;
- Public art;
- Primary frontages (control of non-A1 uses)

9 Planning application 13/01181/FUL Land Rear Of The Cedars, Compton Road West

Having declared an interest Cllr Hardacre left the room and took no part in the consideration of the application.

The Senior Planning Officer gave details of a number of updates to the report as follows

- paragraph 4 – planning history - to include an additional application 13/00751/FUL for replacement of 4 dwellings with 6 dwellings which was granted on 2nd October 2013;

- paragraph 11.26 – additional sentence. The site is not owned by the existing developer and there is a reasonable gap in time between the original permission in 2011 and this application.
- paragraph 13.1 that one additional condition is included that the mitigation measures proposed in the submitted ecological report and bat survey are implemented.

Mr Rowley spoke in opposition to the application

Mr Robertson spoke in support of the application

Some Councillors expressed their support for the application.

Other councillors expressed concern about development within the green belt.

Resolved

That the Strategic Director of Education and Enterprise be given delegated authority to grant planning application 13/01181/FUL subject to:

- (i) Referral and no call in by the Secretary of State;
- (ii) Negotiation and completion of a Section 106 agreement to secure benefits of improved facilities at Wolverhampton College
- (ii) Any necessary conditions to include:
 - Targeted recruitment and training
 - Renewable energy
 - Levels
 - Land contamination
 - Drainage
 - Tree protection measures
 - Details of remediation works to boundary wall
 - Construction method statement
 - Hours of construction
 - Landscaping (including surface materials)
 - Boundary fencing
 - Fencing for rear gardens of plots 9, 10, 11 and 12
 - Mitigation measures detailed in the ecological report
 - Bat survey

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Planning Committee

22 July 2014

Planning application no.	14/00595/FUL and 14/00596/LBC
Site	Former Bilston Police Station, Mount Pleasant, Bilston, WV14 7LT
Proposal	Conversion of part of basement to create a one bedroomed flat
Ward	Bilston East
Applicant	AB Construction Limited
Agent	Thorne Architecture Limited
Cabinet Member with lead responsibility	Councillor Peter Bilson Economic Regeneration and Prosperity
Accountable director	Tim Johnson, Education and Enterprise
Planning officer	Name Phillip Walker Tel 01902 555632 Email phillip.walker@wolverhampton.gov.uk

1. Summary Recommendation

1.1 Delegated authority to grant subject to conditions and a Section 106 agreement

2. Application site

2.1 The former Bilston Police Station is a Grade II Listed Building, situated at the junction of Mount Pleasant and Bow Street, within the Bilston Town Centre Conservation Area.

2.2 The Police vacated the building in 2010. Since then it has been converted to nine flats, which are now occupied. The only part not converted into flats is part of the basement, which includes windows.

3. Application Details

3.1 There are applications for planning permission and listed building consent for the conversion of the basement into a one bedroomed flat.

4. Planning History

4.1 12/00060/FUL and 12/00061/LBC. Conversion of former Police Station to create nine flats. Granted 24.01.2014.

5. Relevant Policy Documents

- 5.1 National Planning Policy Framework (NPPF)
- 5.2 The Development Plan:
Wolverhampton Unitary Development Plan (UDP)
Black Country Core Strategy (BCCS)
- 5.3 SPG 3 'Residential Development'

6. Environmental Impact Assessment Regulations

- 6.1 This development proposal is not included in the definition of projects that requires a "screening opinion" as to whether or not a formal Environmental Impact Assessment as defined by the above regulations is required.

7. Publicity

- 7.1 No representations received.

8. Internal Consultees

- 8.1 Environmental Health and Transportation – no objections.

9. External Consultees

- 9.1 English Heritage – no objections.

10. Legal Implications

- 10.1 When an application is situate in or affects the setting of a Conservation Area by virtue of Section 72 and Section 73 of the Planning (Listed Buildings and Conservation Areas) Act 1990 considering the application and exercising their powers in relation to any buildings or other land in or adjacent to a Conservation Area the Local Planning Authority must ensure that special attention is paid to the desirability of preserving or enhancing the character or appearance of the Conservation Area and further should have regard to any representations ensuing from the publicity required under Section 73 of the Act
- 10.2 Under Section 66 of the Planning (Listed Buildings and Conservation Areas) Act 1990 in considering whether to grant planning permission for development which affects a listed building or its setting the Council shall have special regard to the desirability of preserving the building or its setting or any features of special architectural interest which it possesses (LD/07/07/2014/A).

11. Appraisal

- 11.1 No significant works to the historic fabric of the building are required. Therefore the impact on the listed building and Conservation Area is acceptable.
- 11.3 The proposed layout is acceptable. The habitable rooms would include windows which would provide satisfactory sunlight and daylight for future residents.
- 11.4 The access and parking arrangements are acceptable.
- 11.5 Because it is proposed that there would be 10 flats, there is a development plan policy requirement for renewable energy generation and a financial contribution of £15,251 to

enhance off-site public open space and play facilities in Bilston Town Centre, to be secured through a Section 106 agreement.

12. Conclusion

- 12.1 Subject to a Section 106 agreement and conditions as recommended, the proposal would be acceptable and in accordance with the development plan.

14. Detailed Recommendation

14/00595/FUL

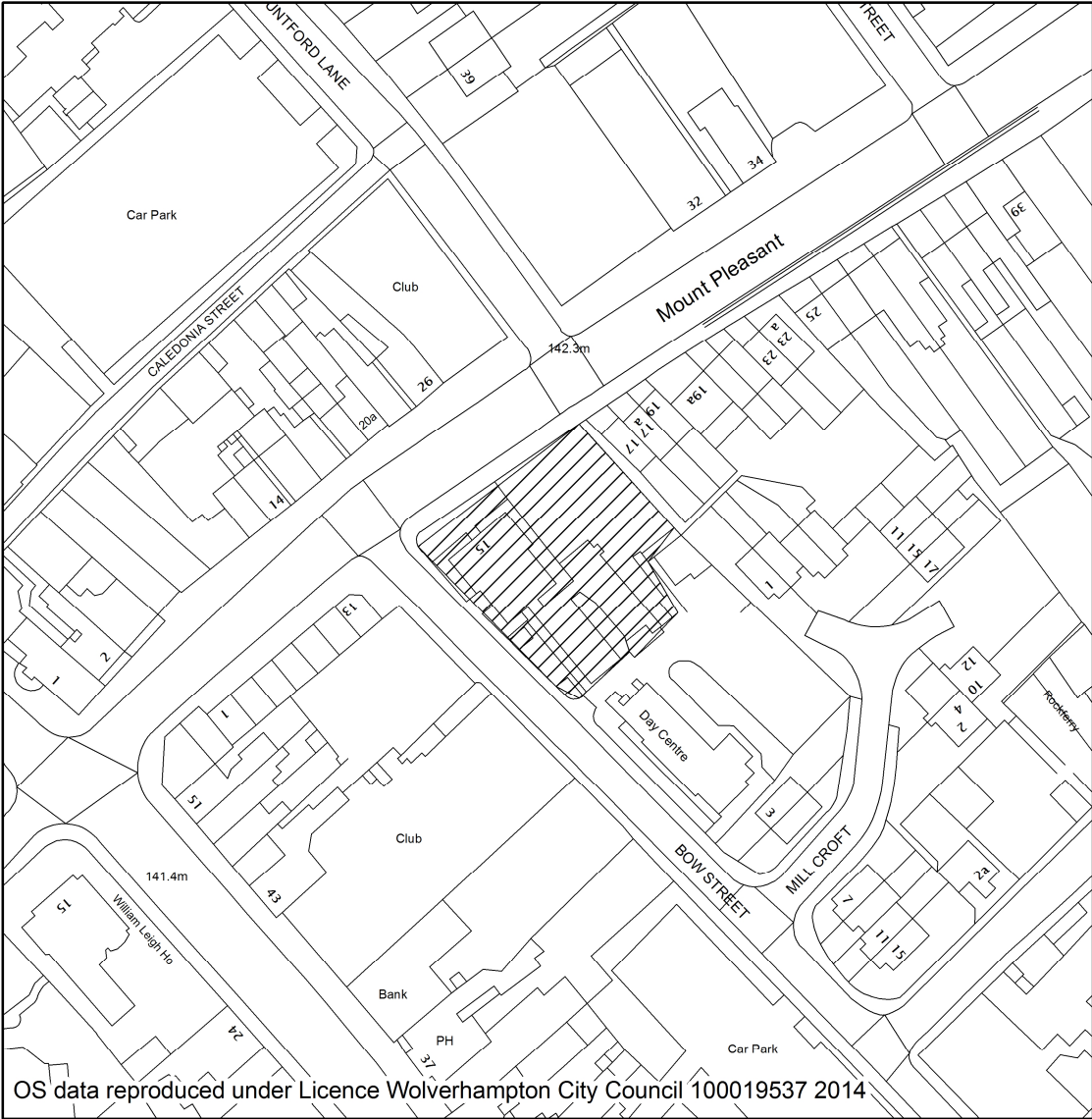
- 14.1 That the Strategic Director of Education and Enterprise be given delegated authority to grant planning application 14/00595/FUL subject to:

- (i) Completion of a Section 106 agreement to secure;
- Off-site contribution for open space and play in Bilston Town Centre £15,251
 - 10% renewable energy
- (ii) Any necessary conditions to include:
- Details of replacement window joinery/window frames

14/00596/LBC

- 14.2 That Listed Building consent 14/00596/LBC be granted and any necessary conditions to include:

- Details of replacement window joinery/window frames.





Planning Committee

22 July 2014

Planning application no.	14/00303/FUL
Site	The Lime, 2 The Limes Road, Tettenhall, Wolverhampton.
Proposal	New raised roof and external works to existing outbuildings.
Ward	Tettenhall Wightwick
Applicant	Mr D Ashworth
Agent	Mr ST Wright
Cabinet Member with lead responsibility	Councillor Peter Bilson Economic Regeneration and Prosperity
Accountable director	Tim Johnson, Education and Enterprise
Planning officer	Name Laleeta Butoy Tel 01902 555605 Email laleeta.butoy@wolverhampton.gov.uk

1. Summary Recommendation

1.1 Grant subject to conditions

2. Application site

2.1 This application was reported to the previous planning committee on 17 June 2014 and deferred for a site visit.

2.2 2 Limes Road is a large detached property which is separated into three flats. It is set back from the street and sits within a spacious plot at the corner of Limes Road and Upper Green in Tettenhall Greens Conservation Area.

2.3 To the rear of the property and out of general view there is a small brick built outbuilding. This is currently used as storage space, utility room and toilet. A timber constructed garage is attached to the brick built outbuilding.

3. Application Details

3.1 The applicant proposes minor improvement works to the existing outbuilding.

- 3.2 The improvement works include increasing the height of the existing outbuilding roof by 0.75m giving a total building height of approximately 6 metres. Facing brick work would be repaired.
- 3.3 The outbuilding is to be used in association with the main house and include storeroom, office/study, utility, w.c. and games/play room. No new residential accommodation would be created.
- 3.4 Some repair works would also be made to the existing timber constructed garage. The applicant proposes to make the structure good and to insert new double doors and a window. The garage would continue to be used as existing.

4. Constraints

- 4.1 Tettenhall Greens Conservation Area

5. Relevant Policy Documents

- 5.1 National Planning Policy Framework (NPPF)
- 5.2 The Development Plan:
Wolverhampton Unitary Development Plan (UDP)
Black Country Core Strategy (BCCS)

6. Environmental Impact Assessment Regulations

- 6.1 This development proposal is not included in the definition of projects that requires a “screening opinion” as to whether or not a formal Environmental Impact Assessment as defined by the above regulations is required.

7. Publicity

- 7.1 Eight representations received objecting and one requesting to speak at planning committee. The objections can be summarised as follows:-
- Noise disturbance
 - Inadequate usage of outbuildings
 - Loss of light

8. Internal Consultees

- 8.1 Historic Environment Team- No objections subject to condition requiring joinery details.

9. Legal Implications

- 9.1 When an application is situate in or affects the setting of a Conservation Area by virtue of S72 and S73 of the Planning (Listed Buildings and Conservation Areas) Act 1990 in considering the application and exercising their powers in relation to any buildings or other land in or adjacent to a Conservation Area the Local Planning Authority must ensure that special attention is paid to the desirability of preserving or enhancing the

character or appearance of the Conservation Area and further should have regard to any representations ensuing from the publicity required under Section 73 of the Act (LD/28052014/A)

10. Appraisal

10.1 The key issues are: -

- Impact on character and appearance of the area
- Neighbour amenity

10.2 Character and Appearance

The outbuildings are positioned to the rear of the existing house, out of general view, are small in scale and in need of repair. These proposals will physically improve the condition of the outbuildings. Although there will be an increase in roof height this will be small scale. The proposals would preserve and enhance the character and appearance of the Tettenhall Greens Conservation Area and be in accordance with UDP Policies HE1, HE2, HE3 and HE4.

10.3 Neighbour Amenity

The outbuildings are situated in a secluded position at the rear of Limes House. The nearest dwelling is approximately nine metres away and is set behind a high wall and hedge. Although the roof height is to be extended by 0.75 metres the overall building height would only be 6 metres. Given the context of the site and the separation distance from neighbouring properties there would be no adverse impact on surrounding residential amenity.

10.4 The impact on neighbour amenity is acceptable and in accordance with UDP policies D7, D8 and H6. BCCS ENV3 and SPG4

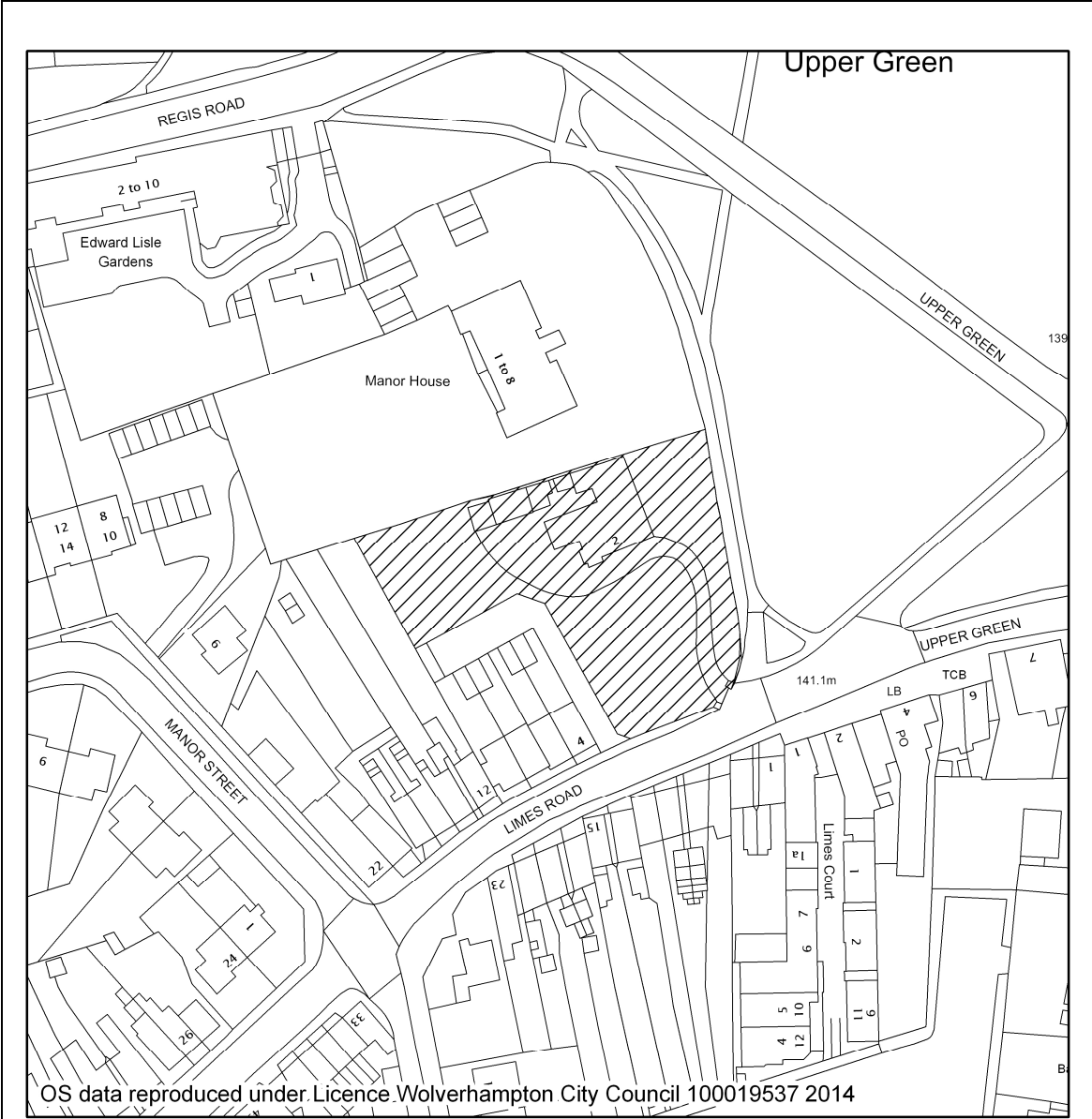
11. Conclusion

11.1 The proposal is acceptable and complies with the policies of the Development Plan.

12. Detailed Recommendation

12.1 That planning application 14/00303/FUL be granted, subject to any appropriate conditions including:

- Prior to the commencement of the development, details of external joinery details for new windows and doors shall be submitted and agreed in writing by the local planning authority.
- The outbuildings shall be used only for the use by the residents of flat 2 The Limes and not for any commercial, industrial or business purpose nor as a separate dwelling
- Matching materials



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